

Recording requested by:  
THE CITY OF BRISBANE

After recordation return to:  
The City of Brisbane  
Attention: City Clerk  
Brisbane City Hall  
50 Park Place  
Brisbane, CA 94005

**FIRST AMENDMENT TO  
MAINTENANCE AGREEMENT REGARDING  
PRIVATE SLOPE AND DRAINAGE FACILITIES**

**THIS FIRST AMENDMENT TO MAINTENANCE AGREEMENT REGARDING PRIVATE SLOPE AND DRAINAGE FACILITIES**, dated \_\_\_\_\_, 2011, by and between THE CITY OF BRISBANE, a municipal corporation ("City"), and BROOKFIELD NORTHEAST RIDGE II LLC, a Delaware limited liability company ("Subdivider"), is made with reference to the following facts:

A. Subdivider is engaged in the development of certain real property situated in the City of Brisbane, County of San Mateo, State of California, commonly known as the Northeast Ridge (the "Property" or "NER"), such development to be generally accomplished in two phases designated as Unit I and Unit II.

B. A final subdivision map for Unit I of the Property entitled "Northeast Ridge Unit No. 1" (the "Unit I Final Map"), was filed for record on May 30, 1995, in Book 125 of Maps, at Pages 28-62, File No. 95-054906, Official Records of San Mateo County, California.

C. As a condition for approval of the Unit I Final Map, City required Subdivider to prepare and submit a plan for the maintenance and repair of private slope areas, drainage facilities, benches, gutters, and subdrains, such maintenance and repair work to be performed by Subdivider and by the future owners of both the common areas and private lots within the subdivision. Pursuant to this requirement, Subdivider furnished to City a plan entitled "Private Slope and Drainage Maintenance Plan," prepared by Brian Kangas Foulk, Job No. 870153, dated June, 1990, as corrected August, 1993 (the "Slope and Drainage Maintenance Plan"), and such Plan was approved by the City Engineer. A true copy of the Slope and Drainage Maintenance Plan is attached hereto as Exhibit "A" and incorporated herein by reference.

D. The obligation to perform the work required by the Slope Maintenance Plan was set forth in a Maintenance Agreement Regarding Private Slope and Drainage Facilities between City and First Coscan Partners, L.P., Subdivider's predecessor in interest, dated May 22, 1995 (the "Slope and Drainage Maintenance Agreement"), recorded on May 30, 1995, as Instrument No. 95054910, Official Records of San Mateo County, California.

E. On February 16, 2010, the Brisbane City Council adopted Resolution No. 2010-02 granting Subdivider approvals for development of Unit II of the NER, such approvals consisting of Vesting Tentative Map VTM-1-06, Design Permit DP-3-06, Planned Development Permit PD-1-06, and Grading Permit EX-1-06, subject to the Conditions of Approval attached as Exhibit C to said Resolution No. 2010-02 (the "Conditions of Approval").

F. Unit II will be developed in accordance with two final subdivision maps approved by the City Council and recorded concurrently herewith (the "Unit II Final Maps") identified as follows:

Map entitled "Northeast Ridge Landmark at the Ridge Unit II – Neighborhood 2", filed for record on \_\_\_\_\_, 2011, in Book \_\_\_\_\_ of Maps, at Pages \_\_\_\_\_, Official Records of San Mateo County, California, consisting of 65 lots; and

Map entitled ""Northeast Ridge Landmark at the Ridge Unit II – 6 Lots 'A' Street, filed for record on \_\_\_\_\_, 2011, in Book \_\_\_\_\_ of Maps, at Pages \_\_\_\_\_, Official Records of San Mateo County, California, consisting of 6 lots.

G. The approved Slope and Drainage Maintenance Plan will be applicable to Unit II. In addition, the Conditions of Approval required Subdivider to prepare and submit an updated description of the maintenance and repair of private slope areas, drainage facilities, benches, gutters and subdrains to be performed by Subdivider and by the future owners of both the common areas and private lots within Unit II.

H. In compliance with the Conditions of Approval, Subdivider furnished to City a document entitled "Ownership and Maintenance Map" prepared by vTA Landscape Architects, dated September 26, 2011, consisting of sheets L-OM1 through L-OM9 (the "Ownership and Maintenance Map"), a copy of which is attached hereto as Exhibit "B" and incorporated herein by reference. The Ownership and Maintenance Plan defines the maintenance responsibilities for the public right-of-way areas, private lots (including homes, lots and Association common area), wooded vegetation removal areas within open space dedicated to the County, and drainage device maintenance at revegetated areas within the County open space.

**NOW, THEREFORE, THE PARTIES AGREE AS FOLLOWS:**

1. The Slope and Drainage Maintenance Agreement is hereby amended to include the Ownership and Maintenance Map. Subdivider agrees to perform and comply with all of the requirements, recommendations, terms and provisions as set forth in the Slope and Drainage Maintenance Plan attached hereto as Exhibit "A" and the Ownership and Maintenance Map attached hereto as Exhibit "B," as applied to all of the lots and common areas within Unit II of the NER.

2. The obligations of Subdivider hereunder shall continue until such time as the residential lots shown on the Unit II Final Maps are conveyed to the owners of each lot and the common area parcels shown on the Unit II Final Maps are conveyed to the Landmark at the Ridge Owners Association (the "Association"). Upon such conveyances: (a) the

obligations of Subdivider shall automatically be extinguished with respect to the land conveyed; and (b) the lot owners and the Association shall each be required to comply with the applicable provisions of the Slope and Drainage Maintenance Plan and the Ownership and Maintenance Map, as a result of such obligation being imposed upon the lot owner or the Association by the terms of the Declaration of Covenants, Conditions and Restrictions pertaining to the area owned or maintained by the lot owner or the Association.

3. City reserves the right at all times to maintain media filters and components within the media vaults situated at the following locations as shown on Sheets L-OM7 and L-OM9 of the Ownership and Maintenance Map:

- (a) in 'A' Street near Lupine Valley Court;
- (b) in the public service easement (P.S.E.) located in the northwestern corner of Lot 3, as shown on the 6 Lots 'A' Street Final Map; and
- (c) in Silverspot Drive near Lily Court.

If the City elects not to perform such maintenance, then the Association shall perform such maintenance. So long as the City performs such maintenance, the Association shall not have the obligation to perform such maintenance but, instead, shall reimburse the City for the costs it incurs to perform such maintenance within fifteen (15) days after receipt of an invoice requesting payment. The maximum aggregate reimbursement to be billed by the City to the Association during any fiscal year (July 1 through June 30) shall not exceed Five Thousand Six Hundred Seventy-Five Dollars (\$5,675.00), based upon 2011 Dollars ("Maximum Reimbursement"). The Maximum Reimbursement shall be adjusted annually as of July 1<sup>st</sup> of each year ("Adjustment Date") by the percentage increase, if any, in the Consumer Price Index published by the United States Department of Labor, Bureau of Labor Statistics, for Urban Wage Earners and Clerical Workers, All Items, for the San Francisco-Oakland Statistical Area ("CPI") published for the month nearest preceding the current Adjustment Date as compared to the CPI published for the month nearest preceding the Adjustment Date for the immediately preceding year. If the CPI or the Bureau is discontinued without a successor being established, the City shall designate a substitute index which shall be reasonably used in like manner to determine the annual adjustment of the Maximum Reimbursement.

4. The Slope and Drainage Maintenance Agreement, as amended by this First Amendment, may be enforced by City, and by the Association, and by any homeowner who is a member of the Association, as third party beneficiaries hereunder. A person who seeks to enforce this First Amendment as a third party beneficiary shall give written notice of such intended action to City, stating the party against whom the enforcement action is directed, the nature of the alleged default by such party, and the corrective action being requested. In the event legal proceedings should become necessary in order to enforce or interpret the Slope and Drainage Maintenance Agreement, as amended by this First Amendment, the prevailing party shall be entitled to recover all costs and expenses that may be incurred in connection therewith, including reasonable attorney's fees.

5. In addition to the obligations set forth in this First Amendment, Subdivider and the future owners of the Property, or any portion thereof, shall also observe and

perform all of the duties and responsibilities as contained in that certain Maintenance Agreement between City and Subdivider dated \_\_\_\_\_, 2011, recorded concurrently herewith and to which reference is made for the particulars thereof.

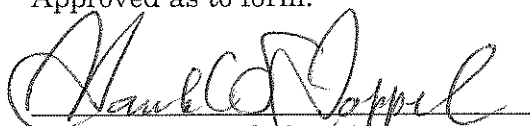
**IN WITNESS WHEREOF**, the parties have executed this Agreement the day and year first above written.

**CITY OF BRISBANE**

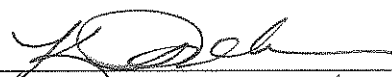
By: \_\_\_\_\_  
Cyril G. Bologoff, Mayor

Attest: \_\_\_\_\_  
Sheri Marie Spediacci, City Clerk

Approved as to form:

  
Harold S. Toppel, City Attorney

**BROOKFIELD NORTHEAST  
RIDGE II, LLC, a Delaware  
limited liability company**

By:   
KEVIN POTERSON

STATE OF CALIFORNIA )  
COUNTY OF SAN MATEO )

On \_\_\_\_\_, before me \_\_\_\_\_,  
Notary Public, personally appeared CYRIL G. BOLOGOFF, proved to me on the basis of  
satisfactory evidence to be the person whose name is subscribed to the within instrument  
and acknowledged to me that he executed the same in his authorized capacity, and that by  
his signature on the instrument the person, or the entity upon behalf of which the person  
acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California  
that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature \_\_\_\_\_

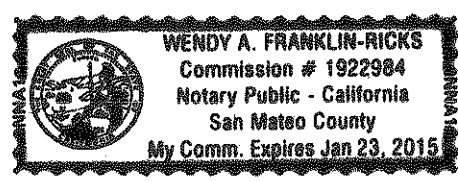
STATE OF CALIFORNIA )  
COUNTY OF SAN MATEO )

On 9/27/2011, before me Wendy A. Franklin-Ricks, Notary Public,  
Notary Public, personally appeared Kevin Pohlson, proved to me on  
the basis of satisfactory evidence to be the person whose name is subscribed to the within  
instrument and acknowledged to me that he executed the same in his authorized capacity,  
and that by his signature on the instrument the person, or the entity upon behalf of which  
the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California  
that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Wendy A. Franklin-Ricks



**EXHIBIT "A"**

**PRIVATE SLOPE AND DRAINAGE  
MAINTENANCE PLAN**

A-7

CITY OF BRISBANE  
NORTHEAST RIDGE

PRIVATE SLOPE AND DRAINAGE  
MAINTENANCE PLAN

Prepared By:

BRIAN KANGAS FOULK  
540 Price Avenue  
Redwood City, California 94063

Job No. 870153

June, 1990  
Corrected August, 1993

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## MAINTENANCE OVERVIEW

## A. INTRODUCTION

The purpose of this plan is to outline the required maintenance measures for the protection of slope areas within and adjacent to the privately owned neighborhoods of the Northeast Ridge. The protection of these slopes is necessary to ensure the structural stability of the buildings they support. Failure to properly maintain the devices associated with slope protection could result in severe property damage.

The primary concern with slope protection is the effective transport of water through designated conduits. Water which is allowed to escape these conduits has the ability to erode slopes or penetrate the slope and cause minor slumping. The conduits requiring attention include lined ditches, earthen berms and swales, area drains, rock walls, low point overflow protection devices, sprinkler systems, water services, subdrains, catch basins, and pavement and valley gutters in parking lots. Although maintenance of landscaping is not covered in this plan it is important that it is maintained to protect the slopes from erosion.

B. STATEMENT OF RESPONSIBILITIES

Neighborhood I: The Neighborhood I Homeowners Association is responsible for the maintenance of all slopes, landscaping, drainage facilities, utility services, and irrigation systems of Neighborhood I, excluding property within the street rights-of-way.

Neighborhood II: The Neighborhood II Homeowners Association is responsible for the maintenance of all slopes, landscaping, drainage facilities, utility services, and irrigation systems of Neighborhood II, excluding property within street rights-of-way and fenced lots.

Neighborhood III: The Neighborhood III Homeowners Association is responsible for the maintenance of all slopes, landscaping, drainage facilities, utility services, irrigation systems, and parking areas of Neighborhood III, excluding the public streets.

The neighborhood Homeowners Association's maintenance boundaries are as shown on the following page. Responsibilities exclude maintenance of the landscaping and street lighting within the public right-of-ways, landscaping within public service easements adjacent to habitat areas, which will be maintained by a lighting and landscaping assessment district. Also excluded from Homeowners Association's responsibility is the maintenance of storm drain lines which drain public streets but which cross private common areas. These lines will be maintained by the City of Brisbane.

C. DEFINITION OF TERMS

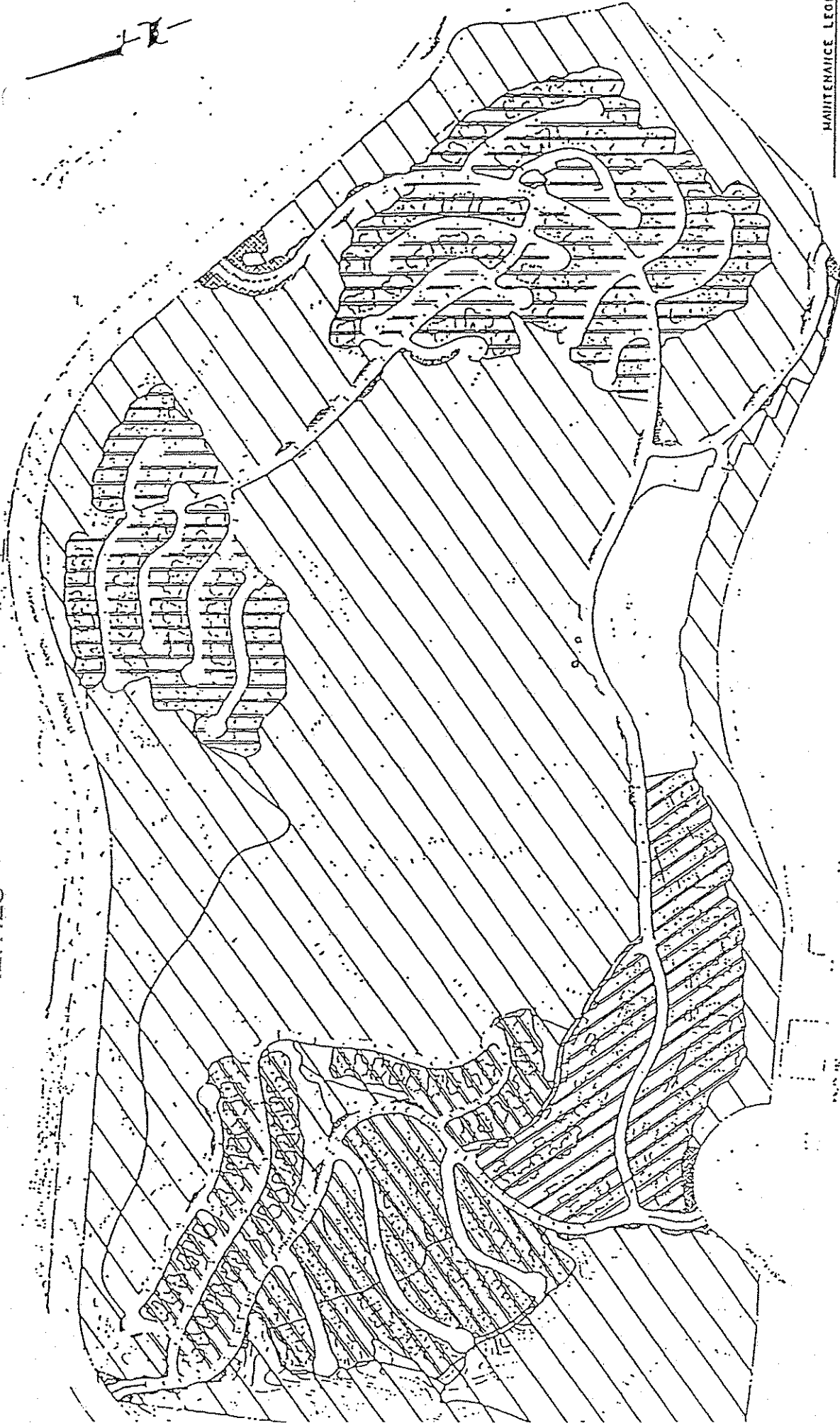
The term "major storm" means a storm during the rainy season in which either of the following will occur:

- (1) Rainfall occurs over four consecutive hours or more.
- (2) Rainfall occurs during two consecutive days.







The term "rainy season" means the period from October 15 to April 15 of each year.

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MAINTENANCE LEGEND

-  Horizontal hatching
-  Vertical hatching
-  Diagonal hatching
-  Cross-hatching
-  White square
-  Diagonal hatching

NORTHEAST RIDGE  
 Southwest Diversified, Inc.  
 JUNE 1, 1990

MAINTENANCE ITEMS

A. LINED DITCHES

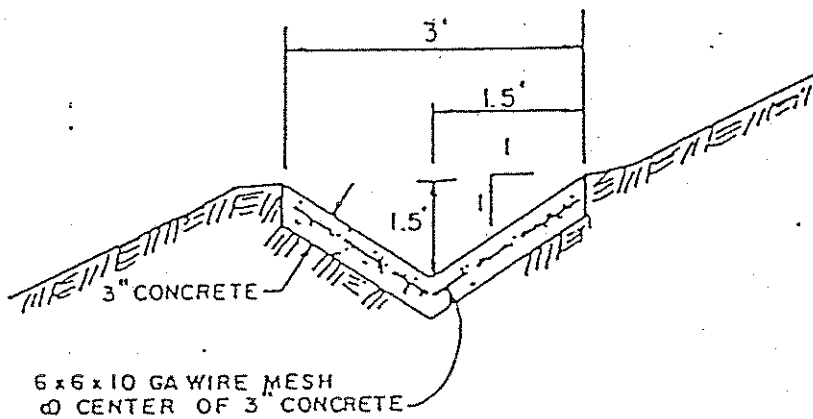
Concrete lined ditches have been provided on the terraces between the uphill and downhill units in Neighborhood II. Rock lined ditches have been provided for the meandering waterways in Neighborhood II. It is important that the design integrity of these ditches is upheld to ensure they don't allow overflows that could erode the slopes.

Maintenance tasks required to keep the ditches operational include the following:

- o Cleaning prior to the onset of winter, and regular inspection and cleaning should be performed through the winter months on an as-needed basis. In particular, ditches should be inspected after every major rain or wind storm since there is a higher probability of debris accumulating during these events.
- o Pruning of shrubbery adjacent to all ditches should be performed annually to minimize leaf and debris drop into the channel.
- o All cracks should be filled with a crack sealer once every three years to prevent water seepage and subsequent undermining of ditches and retaining walls.
- o Ditches should be inspected once every five years for indications of ponding. Ponding is an indication that the design capacity has been reduced due to either subsidence (differential settlement) or uplifting by tree roots. This condition must be corrected by:

Differential Settlement - There is no typical solution to this problem. An Engineer should be retained to identify a solution.

Root Uplifting - The uplifted section of ditch must be removed and a vermeer saw should be used to cut roots to a depth of 3 feet approximately 3-feet on either side of the ditch. The replacement ditch should be constructed as shown below.



## LINED DITCH

Kangas Foulk

ENGINEERING

SCALE:

DRAWN BY:

APPROVED BY:

DESIGNED BY:

DATE:

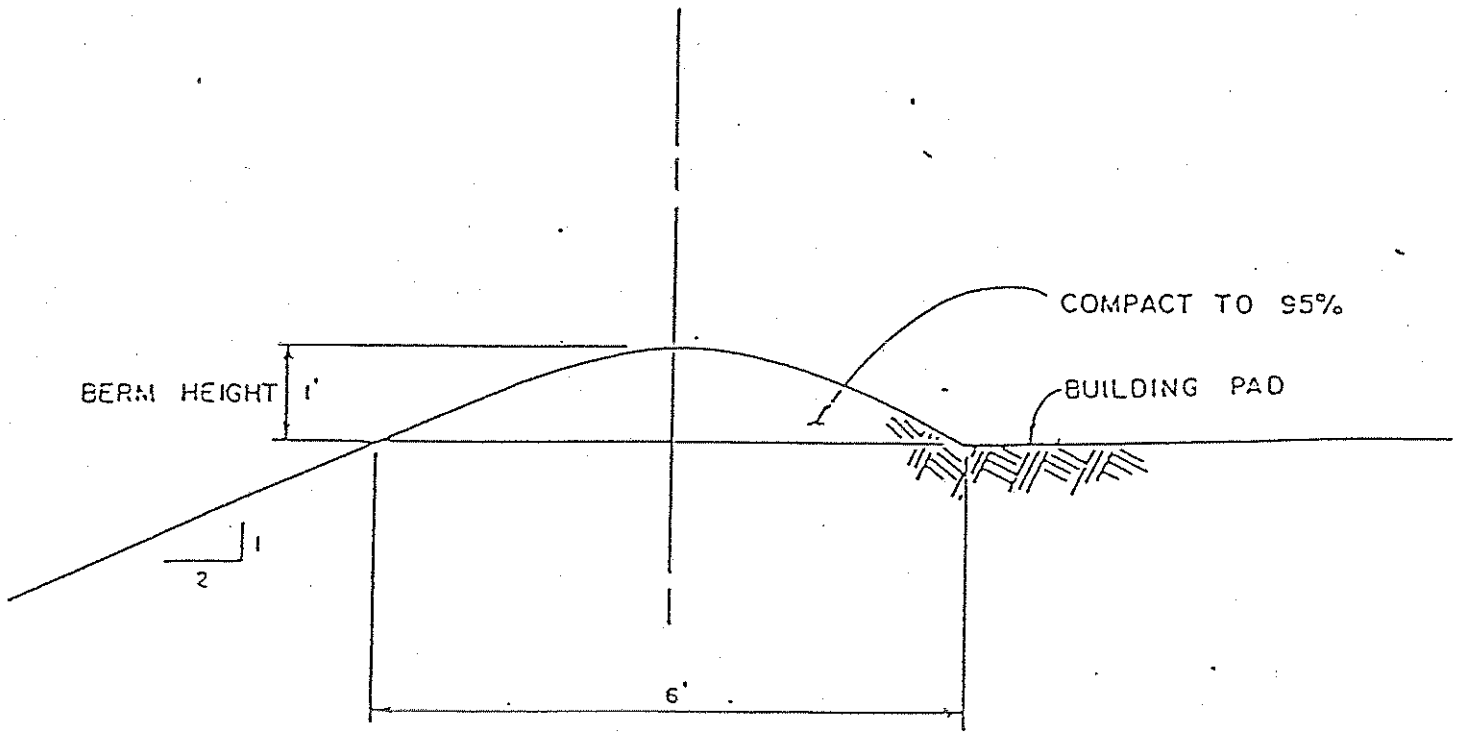
## B. EARTHEN BERMS AND SWALES

Earthen berms have been provided at the tops of slopes behind the Neighborhood 3 buildings to the north of A Street for the purpose of intercepting storm runoff before it crosses over the tops of the slopes. Earthen swales have been provided behind the buildings in Neighborhoods I and II, adjacent to the streets for the purpose of intercepting runoff before it crosses the sidewalk or curb.

Maintenance tasks required to keep the berms and swales operational include the following:

- o Berms should be inspected annually for sloughing, erosion, and low spots. Since the purpose of a berm is to prevent runoff collected on a building pad from eroding a slope, it is important that the berms be in general conformance with the berm height shown on the following page. Locations not conforming should be repaired as recommended by a licensed civil engineer. The berm should then be landscaped for increased protection against erosion.
  
- o Swales should be inspected annually for sediment and debris buildup. Since swales may be landscaped, it may be difficult to assess the condition of a swale. One sure indication that a swale is blocked or partially obstructed is the sign that sediment and water has flowed across the top of curb. Blocked swales should be cleared of sediment and debris.

A. 12



# EARTHEN BERM

Kangas Foulk  
ENGINEERS

SCALE:
DRAWN BY:
APPROVED BY:
DESIGNED BY:

DATE:
PAGE 7

### C. AREA DRAINS

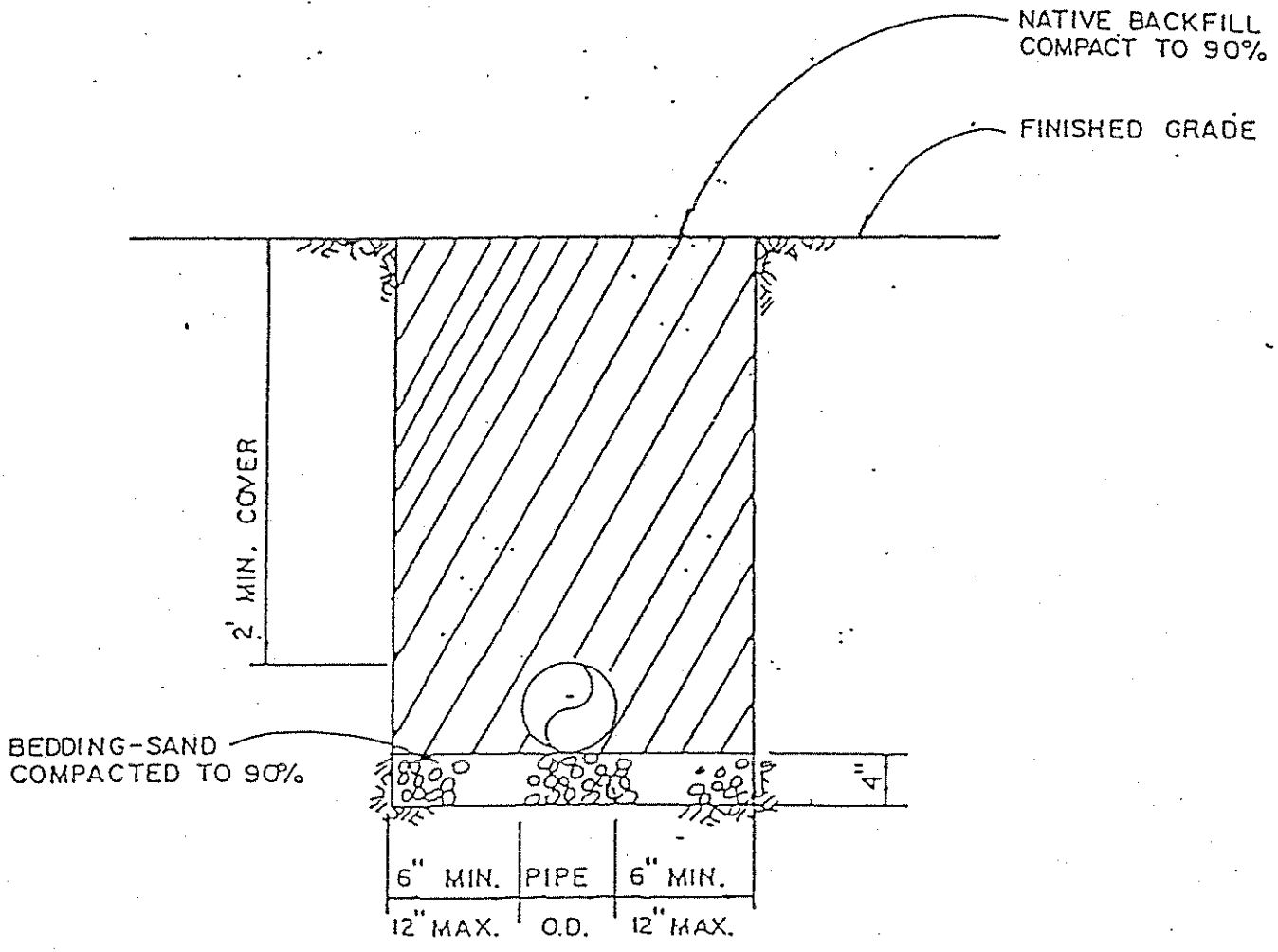
Area drains are typically made of 4 to 6-inch plastic pipe and are located in landscaped areas around buildings, and on the uphill side of most streets behind the curb. These drains have been provided to collect runoff from roof leaders, and earthen berms and swales. The ability of these drains to carry runoff away from the slopes to the larger downstream storm drain system is essential for slope erosion protection.

Maintenance tasks required to keep the area drains operational include the following:

- o Flush all lines once every three years with a sewer ball. This cleaning should be sufficient to remove sediment buildup and root intrusion.
- o Clear all drain inlets prior to the onset of winter, and inspect them periodically through the winter.
- o Inspect the surface over all lines annually for depressions. Surface depression over the pipe indicates either a trench failure, or that the underground pipe may be broken or fractured. Allowing water to pond in the depression will worsen the problem. The section of pipe under the depression should be excavated, inspected for cracks, and replaced if structural damage is found. The trench should then be backfilled as shown on the following page.



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# TRENCH SECTION

**Kangas Foulk**  
CONSULTING ENGINEERS

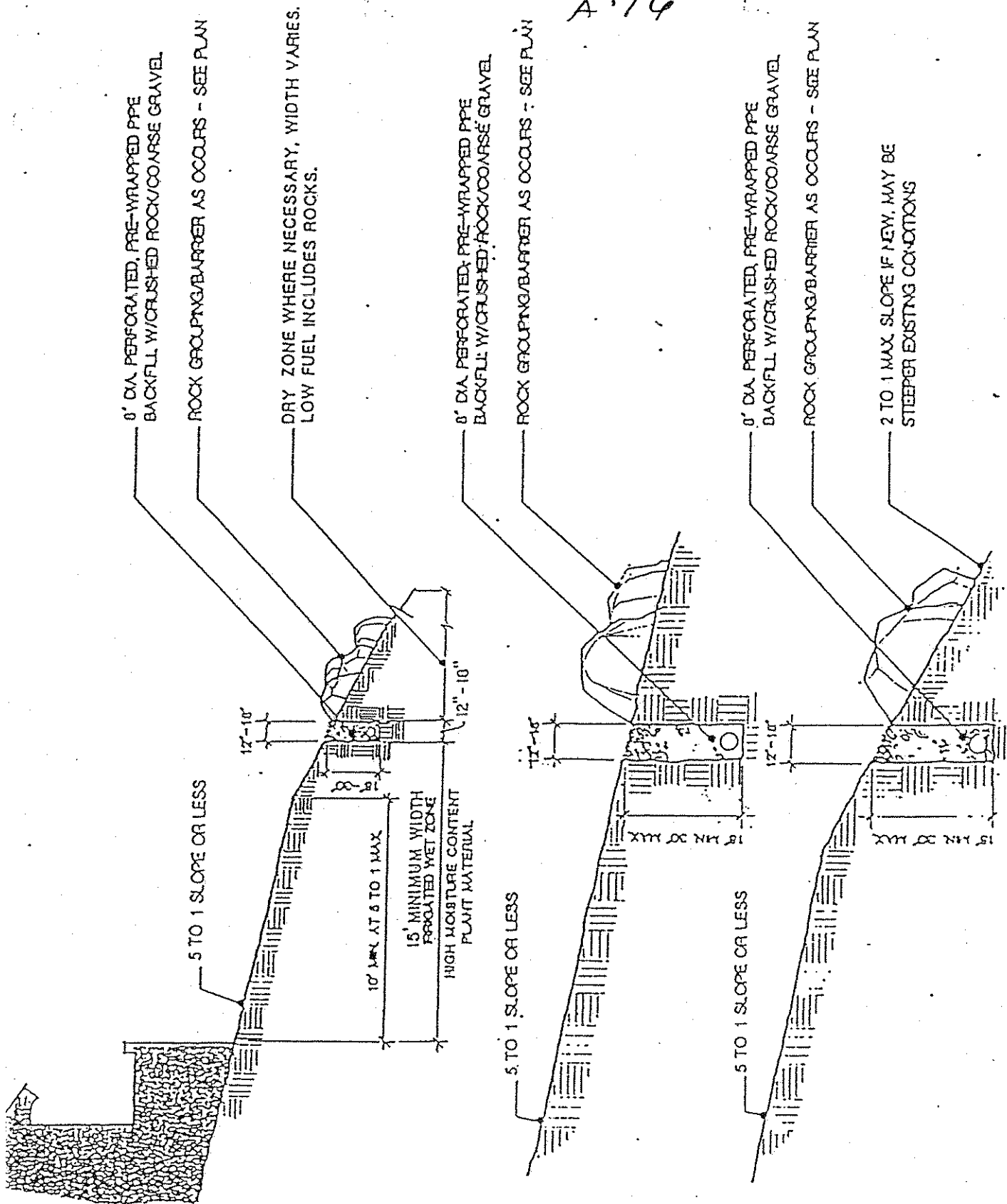
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D. ROCK WALL

Behind buildings that are adjacent to habitat there are rock walls on top of drain rock trenches and perforated pipe. The rock wall and associated piping intercept storm and irrigation runoff and thus prevent it from reaching the habitat slopes as shown on the following page. The importance of this device is two-fold because of the necessity to keep runoff from developed areas out of the habitat and off of the slopes that support the buildings.

Maintenance tasks required to keep the drainage facilities contained within the wall operational include the following:

- o Flush all lines once every three years with a sewer ball. This cleaning should be sufficient to remove sediment build-up and root intrusion.
  
- o Standpipes, wire sensors, rock wall sprinklers and other fire buffer components shall be maintained as indicated in the Fire Buffer Maintenance Program.



A.14

# ROCK WALL

Corrected August, 1993

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DESIGNED BY:

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PAGE 11

## E. LOW POINT OVERFLOW PROTECTION DEVICES

Slope protection devices have been installed below street low points to protect the slopes from erosion in the event that the storm drain system backs up and overflows. The protection devices consist of a grid confinement system which is buried on the slope. This system of small cells holds the soil in place, while also allowing for landscaping. The system is slightly depressed in the middle to form a swale and thus concentrate flow.

Maintenance tasks required to keep the protection system operational include the following:

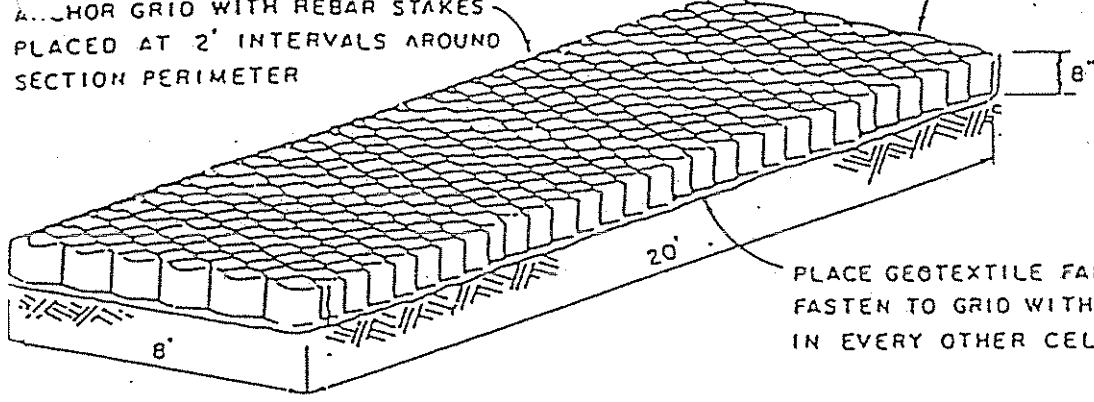
- o Inspect the system for erosion annually prior to the onset of winter. Erosion may occur within the cells, or around the edges of the device. Repair any erosion damage as shown on the following page and replant. Landscaping with the grid cells greatly enhances the ability of this device to protect against erosion.

A.1.8

GEOWEB GRID CONFINEMENT SYSTEM  
(INDIVIDUAL SECTION SHOWN - MULTIPLE SECTIONS  
REQUIRED TO OBTAIN WIDTH AS SHOWN ON PLAN)

ANCHOR GRID WITH REBAR STAKES  
PLACED AT 2' INTERVALS AROUND  
SECTION PERIMETER

BACKFILL GRID WITH NATIVE  
SOIL TO 1" ABOVE CELL TOPS.  
COMPACT TO 85 %



PLACE GEOTEXTILE FABRIC UNDERNEATH GRID.  
FASTEN TO GRID WITH STAPLES OR HOG RINGS  
IN EVERY OTHER CELL.

INSTALLATION NOTES:

1. PLACE GEOTEXTILE FABRIC ON PREPARED GRADE AND FASTEN TO GRID SYSTEM.
2. OPEN GRID CONFINEMENT SYSTEM TO FULL DIMENSION PARALLEL OR PERPENDICULAR TO FLOW DIRECTION.
3. ANCHOR EACH GRID CONFINEMENT SECTION WITH REBAR STAKES PLACED AT 2' INTERVALS AROUND PERIMETER.
4. ADDITIONAL GEOWEB SECTIONS SHALL BE PLACED BY INTERLEAFING THE EDGE CELLS 4" INTO ADJACENT SECTION TO FORM A NEW ROW OF CELLS. FASTEN INTERLEAFED CELLS USING STAPLES OR HOG RINGS. PLACE SECTIONS AS REQUIRED TO OBTAIN WIDTH AS SHOWN ON PLAN.
5. BACKFILL GRID SYSTEM WITH NATIVE MATERIAL AND COMPACT TO 85 %. AFTER COMPACTION, FILL MATERIAL SHOULD BE 1" ABOVE CELL TOPS.

# SLOPE PROTECTION

**Kangas Foulk**  
CONSULTING ENGINEERS

SCALE:	DATE:
DRAWN BY:	PAGE 13
APPROVED BY:	
DESIGNED BY:	

A-10

## F. LANDSCAPE SPRINKLER SYSTEMS

Sprinkler systems have been provided in each of the three neighborhoods for the purpose of irrigation of the landscaping. If the sprinkler pipes are broken or leak, or over-irrigate, they will deposit water above and below the ground causing erosion and slope failure on the slopes below.

Maintenance tasks required to keep the sprinkler systems operating correctly include the following:

- o Operate and inspect all sprinkler systems on a monthly basis and adjust the systems as necessary to ensure no over-irrigation.
- o Operate and inspect all sprinklers on a monthly basis and prune landscaping that interferes with the free flow of water from the sprinkler heads.
- o Inspect the surface over each underground sprinkler pipe on a monthly basis for surface depressions and other indications of breaks or fractures and repair as necessary.
- o Periodic monitoring of the soil moisture content in the landscaped area should be performed to establish the proper watering cycle. Excessive water buildup on slope may cause slope destabilization and should be avoided.
- o Shutoff and isolation valves, as shown on the "As-Built" drawings and indicated by field marker posts, should be exercised annually to insure proper operation during emergencies.

## G. WATER SERVICES AND SEWER LATERALS

Each individual unit is provided with a water and sewer service lateral. It is imperative that these services don't leak and allow slope erosion.

The required maintenance consists of the following tasks:

- o The Homeowners Association shall incorporate into its landscape maintenance program a schedule to review the water services and sewer laterals for leakage on a bi-annual basis.
- o Vegetation adjacent to water meters, water shut-off valves and sanitary sewer cleanouts should be pruned annually or as required to allow easy access to facilities during emergencies.
- o Annual notification shall be sent to homeowners alerting them of the need to monitor water bills and check for excessively high consumption. Above average water consumption may be indicative of a system leak.

## H. SUBDRAINS

Subdrains have been installed beneath fills, in key ways and in landslide repair areas of the Northeast Ridge. The subdrains are for the purpose of conveying the existing underground water flow to safe discharge areas without allowing the flow to weaken the slopes.

Maintenance tasks required to keep the subdrains operational include the following:

- o Flush all lines once every three years with a sewer ball. This cleaning should be sufficient to remove sediment build-up and root intrusion.
- o Field marker posts indicating subdrain cleanout locations should be maintained, painted, or replaced as needed to insure cleanouts do not get buried or lost.

## I. CATCH BASINS

In Neighborhood III there is a storm drain network for the purpose of conveying storm waters within the parking lots. At the edges of the parking lots there are catch basins. The proper operation of this storm drain network is crucial to the protection of the slopes between the parking lot and buildings. If a catch basin or the storm drain pipe plugs, water would back up during storms and eventually flow over the slope towards the building below.

Maintenance tasks required to keep the catch basins operational include the following:

- o Cleaning prior to the onset of winter, and regular inspection and cleaning should be performed through the winter months on an as-needed basis. In particular, catch basins should be inspected after every major rain or wind storm since there is a higher probability of debris accumulating during these events. Cleaning includes removal of all vegetation, sediment, and debris.
- o Flush all lines once every three years with a sewer ball. This cleaning should be sufficient to remove sediment buildup.

## J. PAVEMENT AND VALLEY GUTTERS

The parking lots in Neighborhood III are constructed with an inverted crown section. A concrete valley gutter is placed at the low point in the section to transport surface runoff to underground drainage facilities. The asphalt paving must also be maintained to prevent seepage into and undermining of the subgrade.

Maintenance tasks required to keep the pavement and valley gutters in good condition include the following:

- o Inspection of the valley gutters for cracks, vegetation, and signs of ponding should be performed annually. All cracks should be routed and



filled with a crack sealer, and any vegetation should be removed. A herbicide should be applied to all cracks prior to sealing. Ponding may be caused by either differential settlement, or uplifting by tree roots. There is no typical solution to this problem. When the ponding is frequent enough to cause noticeable pavement degradation or be a major nuisance, then an engineer should be retained to identify a solution.

- o The recommended pavement maintenance is based on a 105-year treatment cycle made up of three 35-year subcycles, and is designed to maintain all pavement in good to excellent condition.

The treatment cycle calls for application of a rejuvenating seal at year 7, a slurry/chip seal without fabric at years 14 and 28, a slurry/chip seal with fabric at year 21, and a 1-inch overlay at year 35. This 35-year cycle is repeated three times before reconstruction. At the end of the third 35-year cycle (year 105), reconstruction should occur in place of the 1-inch overlay.

An alternate to this program would be to have a qualified engineer evaluate the pavement every five years, and perform the required maintenance.

## K. SLOPES

Erosion will occur if water is allowed to flow over the tops of slopes onto slope surfaces. Erosion gullies may develop during periods of heavy water flow over slopes. Berms and drainage facilities have been provided to prevent surface flow across slopes, however if this should occur the following maintenance will be required:

- o The slope grades should be re-established when erosion gullies form. The restoration should include backfilling the gullies with native soil. A geotechnical engineer should be consulted to aid in the restoration process if major erosion gullies develop. Minor sloughing of slope material will occur until planted vegetation has properly rooted and stabilized the slope surface.
- o If slumping of the ground surface occurs, appropriate measures should be taken to determine the cause of the slump and the immediacy of the problem. The cause of the slump should be mitigated as soon as possible to avoid further slumping movement. To properly repair the slump, a geotechnical engineer should be consulted to evaluate the extent and possible repair schemes.

## L. MISCELLANEOUS

Vegetation: - Only plant species contained on the approved project plant list and shown on the approved landscape plans will be allowed. Planting restrictions are required by the Habitat Conservation Plan (HCP), the Fire Buffer Program, and the County Health Department. Any new planting must be in accordance with the HCP and Fire Buffer Programs. Where allowed, vegetation should not be planted adjacent to structures if the vegetation will inhibit below structure ventilation or require large amounts of irrigation water.

**EXHIBIT "B"**

**OWNERSHIP AND  
MAINTENANCE MAP**

**Sheets L-OM1 through L-OM9**

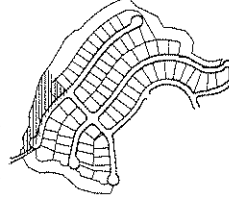
**LANDMARK**  
AT  
**THE RIDGE**

NEIGHBORHOOD II  
UNIT II - 71 LOTS

BRISBANE, CALIFORNIA



**BROOKFIELD**  
**HOUSES**  
500 Lakewood Way, Suite 100  
Danvers, CA 94426  
TEL: (707) 743-8000



KEY MAP A.T.S.



**LANDMARK AT THE RIDGE**  
ARCHITECTS  
3415 Lakeside Way, Suite 240  
San Diego, CA 92108  
PH: 619.441.1000  
F: 619.441.1001  
WWW.PREBIDDESIGN.COM

REVISION: DATE:


DATE: SEPTEMBER 26, 2011

SCALE: 1" = 20'-0"

DRAWN BY: BG  
CHECKED: PV

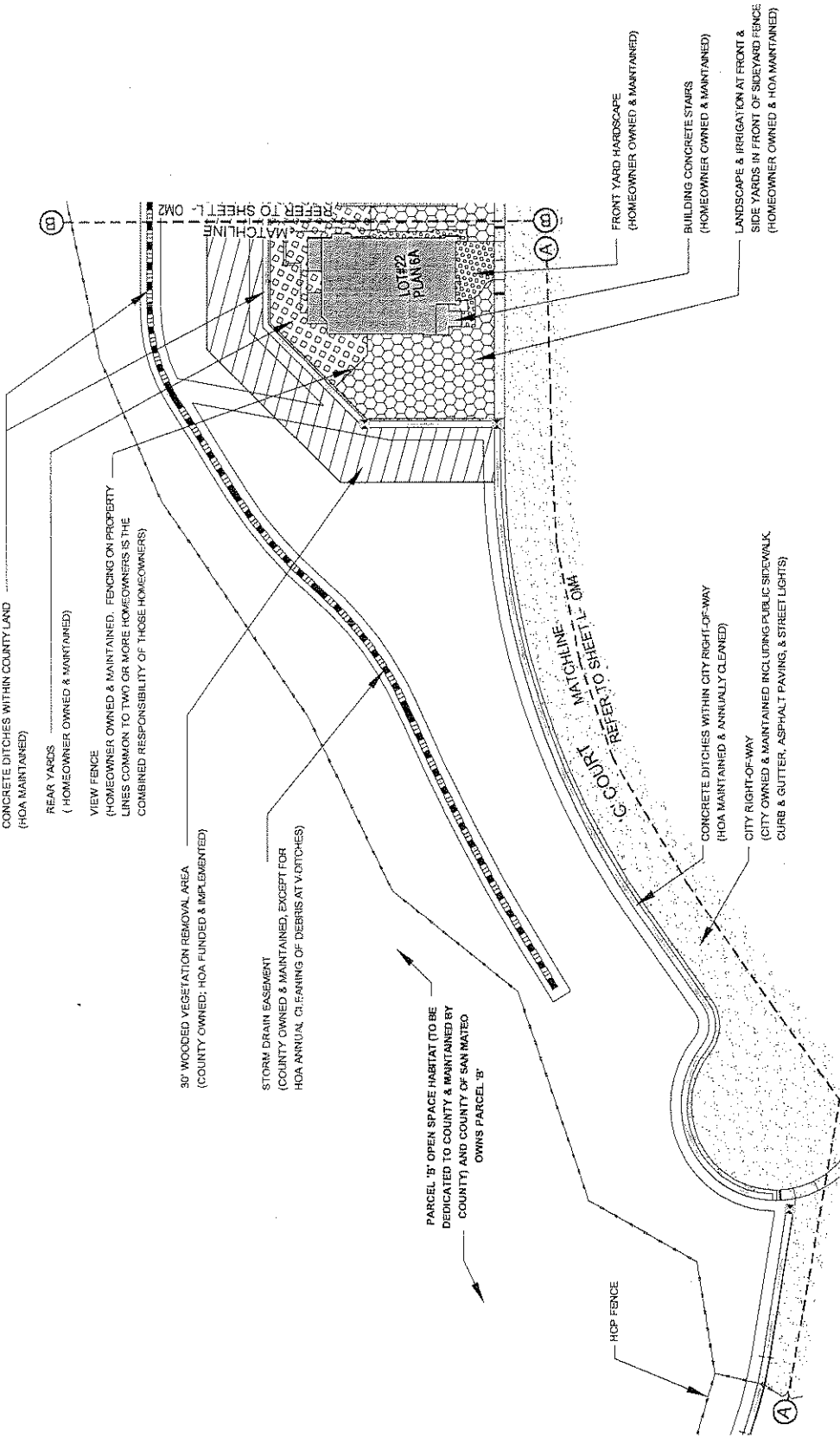
SHEET TITLE:

OWNERSHIP & MAINTENANCE MAP

SHEET NO.

**L-0M1**

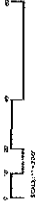
PROJECT NO. 90008



**MAINTENANCE / OWNERSHIP LEGEND**

- HOMEOWNER OWNED & HOA MAINTAINED LANDSCAPE & IRRIGATION AT FRONT YARDS.
- HOMEOWNER OWNED & MAINTAINED REAR YARD LANDSCAPE AREA.
- HOMEOWNER OWNED & MAINTAINED STRUCTURES (BUILDING, PORCH, STAIRS AND DECKS)
- HOMEOWNER OWNED & MAINTAINED HARDSCAPE ( FRONT YARD CONCRETE WALKS, DRIVEWAYS, SIDE STAIRS, RAILINGS AND FENCING)
- COUNTY OWNED & MAINTAINED AND HOA FUNDED WOODED VEGETATION REMOVAL AREA.
- H.O.A. OWNED & MAINTAINED RIPARIAN CORRIDOR LANDSCAPE.
- CITY OWNED & MAINTAINED RIGHT-OF-WAY (PUBLIC SIDEWALKS, CURB & GUTTER, ASPHALT PAVING, & STREET LIGHTS)
- HOA OWNED & MAINTAINED SILVERSPOT DRIVE COMMON AREAS
- HOA OWNED & MAINTAINED LUPINE VALLEY COURT COMMON AREAS
- CITY OWNED & HOA MAINTAINED 'A' STREET COMMON AREAS
- COUNTY OWNED & MAINTAINED AND HOA FUNDED STORM DRAIN EASEMENT.

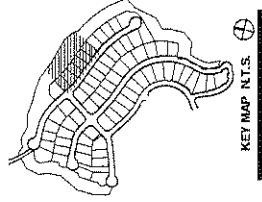
**LANDMARK AT THE RIDGE CCRS**  
NOTE: THE LANDMARK AT THE RIDGE CCRS DEFINE THE MAINTENANCE OBLIGATIONS FOR THE ASSOCIATION AND TAKE PRECEDENCE OVER ANY PORTION OF THE OWNERSHIP & MAINTENANCE MAP THAT IS IN CONFLICT WITH THE CCRS.



**LANDMARK AT THE RIDGE**

NEIGHBORHOOD II  
UNIT II - 71 LOTS  
BRISBANE, CALIFORNIA

**BROOKFIELD HOMES**  
500 LAGUNA WAY, SUITE 100  
DANVILLE, CA 94526  
TEL: (925) 764-8889



KEY MAP ATLS.



**LANDMARK AT THE RIDGE**  
LANDSCAPE ARCHITECTS  
10000 S. DEER CREEK DRIVE, SUITE 140  
DANVILLE, CA 94526  
TEL: (925) 764-8889  
WWW.LANDMARKATTHERIDGE.COM

REVISION: \_\_\_\_\_ DATE: \_\_\_\_\_

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SCALE: 1"=20'-0"

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CHECKED: PV

SHEET TITLE: \_\_\_\_\_

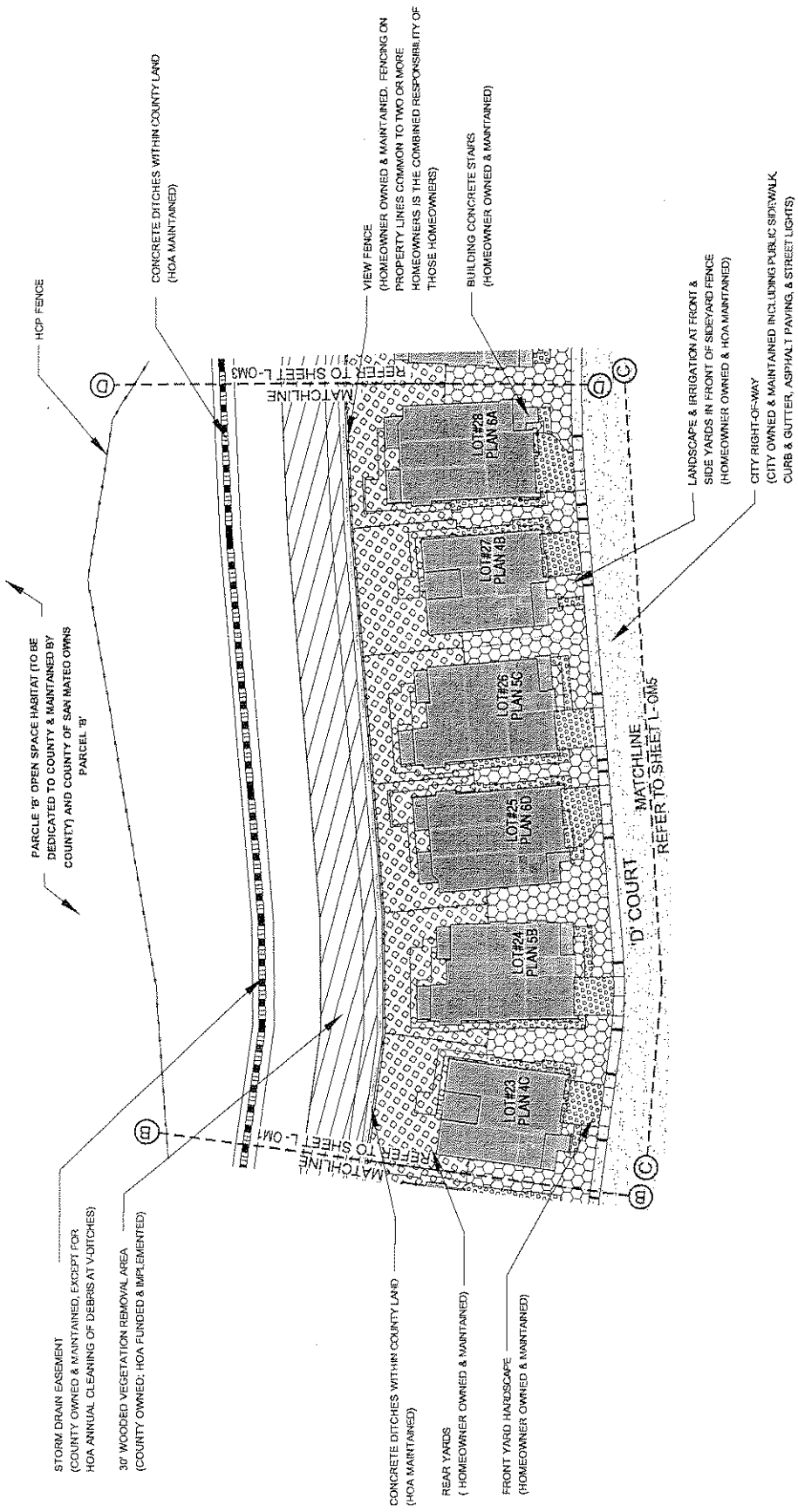
DATE: SEPTEMBER 28, 2011

OWNERSHIP & MAINTENANCE MAP

SHEET NO. \_\_\_\_\_

**L-012**

PROJECT NO. 90308



**MAINTENANCE / OWNERSHIP LEGEND**

- HOMEOWNER OWNED & HOA MAINTAINED LANDSCAPE & IRRIGATION AT FRONT YARDS.
- HOMEOWNER OWNED & MAINTAINED REAR YARD LANDSCAPE AREA.
- HOMEOWNER OWNED & MAINTAINED STRUCTURES (BUILDING, PORCH, STAIRS AND DECKS)
- HOMEOWNER OWNED & MAINTAINED HARDSCAPE ( FRONT YARD CONCRETE WALKS, DRIVEWAYS, SIDE STAIRS, RAILINGS AND FENCING)
- COUNTY OWNED & MAINTAINED AND HOA FUNDED WOODED VEGETATION REMOVAL AREA

**LANDMARK AT THE RIDGE CCRS**

NOTE: THE LANDMARK AT THE RIDGE CCRS DEFINE THE MAINTENANCE OBLIGATIONS FOR THE ASSOCIATION AND TAKE PRECEDENCE OVER ANY PORTION OF THE OWNERSHIP & MAINTENANCE MAP THAT IS IN CONFLICT WITH THE CCRS.



30' WOODED VEGETATION REMOVAL AREA  
(COUNTY OWNED, HOA FUNDED & IMPLEMENTED)

CONCRETE DITCHES WITHIN COUNTY LAND  
(HOA MAINTAINED)

STORM DRAIN EASEMENT  
(COUNTY OWNED & MAINTAINED, EXCEPT FOR  
HOA ANNUAL CLEANING OF DEBRIS AT VERTICES)

CONCRETE DITCHES WITHIN COUNTY LAND  
(HOA MAINTAINED)

REAR YARDS  
(HOMEOWNER OWNED & MAINTAINED)

FRONT YARD HARDSCAPE  
(HOMEOWNER OWNED & MAINTAINED)

VIEW FENCE  
(HOMEOWNER OWNED & MAINTAINED, FENCING ON PROPERTY  
LINES COMMON TO TWO OR MORE HOMEOWNERS IS THE  
COMBINED RESPONSIBILITY OF THOSE HOMEOWNERS)

PARCEL 'B' OPEN SPACE HABITAT (TO BE  
DEDICATED TO COUNTY & MAINTAINED BY  
COUNTY) AND COUNTY OF SAN MATEO OWNS  
PARCEL 'B'

HOP FENCE  
CATCHMENT WALL WITH VIEW FENCE  
(HOMEOWNER OWNED & MAINTAINED)






OPEN SPACE HABITAT (TO BE DEDICATED  
TO COUNTY & MAINTAINED BY COUNTY) AND  
COUNTY OF SAN MATEO OWNS PARCEL 'C'







CITY RIGHT-OF-WAY  
(CITY OWNED & MAINTAINED INCLUDING PUBLIC SIDEWALK  
CURB & GUTTER, ASPHALT PAVING, & STREET LIGHTS)

BUILDING CONCRETE STAIRS  
(HOMEOWNER OWNED & MAINTAINED)

LANDSCAPE & IRRIGATION AT FRONT &  
SIDE YARDS IN FRONT OF SIDEYARD FENCE  
(HOMEOWNER OWNED & HOA MAINTAINED)

**MAINTENANCE / OWNERSHIP LEGEND**

-  HOMEOWNER OWNED & HOA MAINTAINED LANDSCAPE & IRRIGATION AT FRONT YARDS.
-  HOMEOWNER OWNED & MAINTAINED REAR YARD LANDSCAPE AREA.
-  HOMEOWNER OWNED & MAINTAINED STRUCTURES (BUILDING, PORCH, STAIRS AND DECKS)
-  HOMEOWNER OWNED & MAINTAINED HARDSCAPE ( FRONT YARD CONCRETE WALKS,  
DRIVEWAYS, SIDE STAIRS, RAILINGS AND FENCING)
-  COUNTY OWNED & MAINTAINED AND HOA FUNDED WOODED VEGETATION REMOVAL AREA

-  H.O.A. OWNED & MAINTAINED RIPARIAN CORRIDOR LANDSCAPE.
-  CITY OWNED & MAINTAINED RIGHT-OF-WAY (PUBLIC SIDEWALKS, CURB &  
GUTTER, ASPHALT PAVING, & STREET LIGHTS)
-  HOA OWNED & MAINTAINED SILVERSPOT DIRVE COMMON AREAS
-  HOA OWNED & MAINTAINED LUPINE VALLEY COURT COMMON AREAS
-  CITY OWNED & HOA MAINTAINED 'A' STREET COMMON AREAS
-  COUNTY OWNED & MAINTAINED AND HOA FUNDED STORM DRAIN EASEMENT.

**LANDMARK AT THE RIDGE CCRS**  
NOTE: THE LANDMARK AT THE RIDGE CCRS DEFINE THE MAINTENANCE OBLIGATIONS FOR  
THE ASSOCIATION AND TAKE PRECEDENCE OVER ANY PORTION OF THE OWNERSHIP &  
MAINTENANCE MAP THAT IS IN CONFLICT WITH THE CCRS.

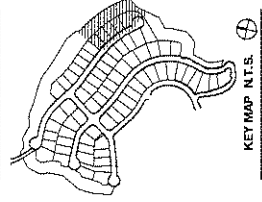
**LANDMARK  
AT  
THE RIDGE**

NEIGHBORHOOD II  
UNIT II - 71 LOTS

BRISBANE, CALIFORNIA



**BROOKFIELD  
HOMES**  
500 LAGUNA WAY, SUITE 000  
DANFORTH, CA 94526  
TEL: (925) 743-8000



KEY MAP N.T.S.



**LANDMARK AT THE RIDGE**  
LANDSCAPE ARCHITECTS  
2000 S. GARDEN AVENUE, SUITE 200  
DANFORTH, CA 94526  
TEL: (925) 743-8000  
WWW.LANDMARKATTHERIDGE.COM

REVISION:	DATE:

SCALE: 1"=20'-0"

DATE: SEPTEMBER 20, 2011

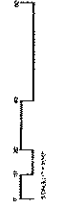
DRAWN BY: CHECKED:  
BG PV

SHEET TITLE:

**OWNERSHIP &  
MAINTENANCE  
MAP**

SHEET NO. **L-0M3**

PROJECT NO. 90308

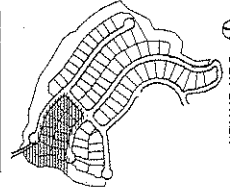


**LANDMARK AT THE RIDGE**

NEIGHBORHOOD II  
UNIT II - 71 LOTS

BRISBANE, CALIFORNIA

**BROOKFIELD HOMES**  
500 Lido Way, Suite 00  
Beverly Hills, CA 90210  
Tel: (909) 724-8800



KEY MAP N.T.S.



**REVISIONS**

REVISION	DATE

DATE: SEPTEMBER 26, 2011

SCALE: 1"=20'-0"

DRAWN BY: PV  
CHECKED: PV

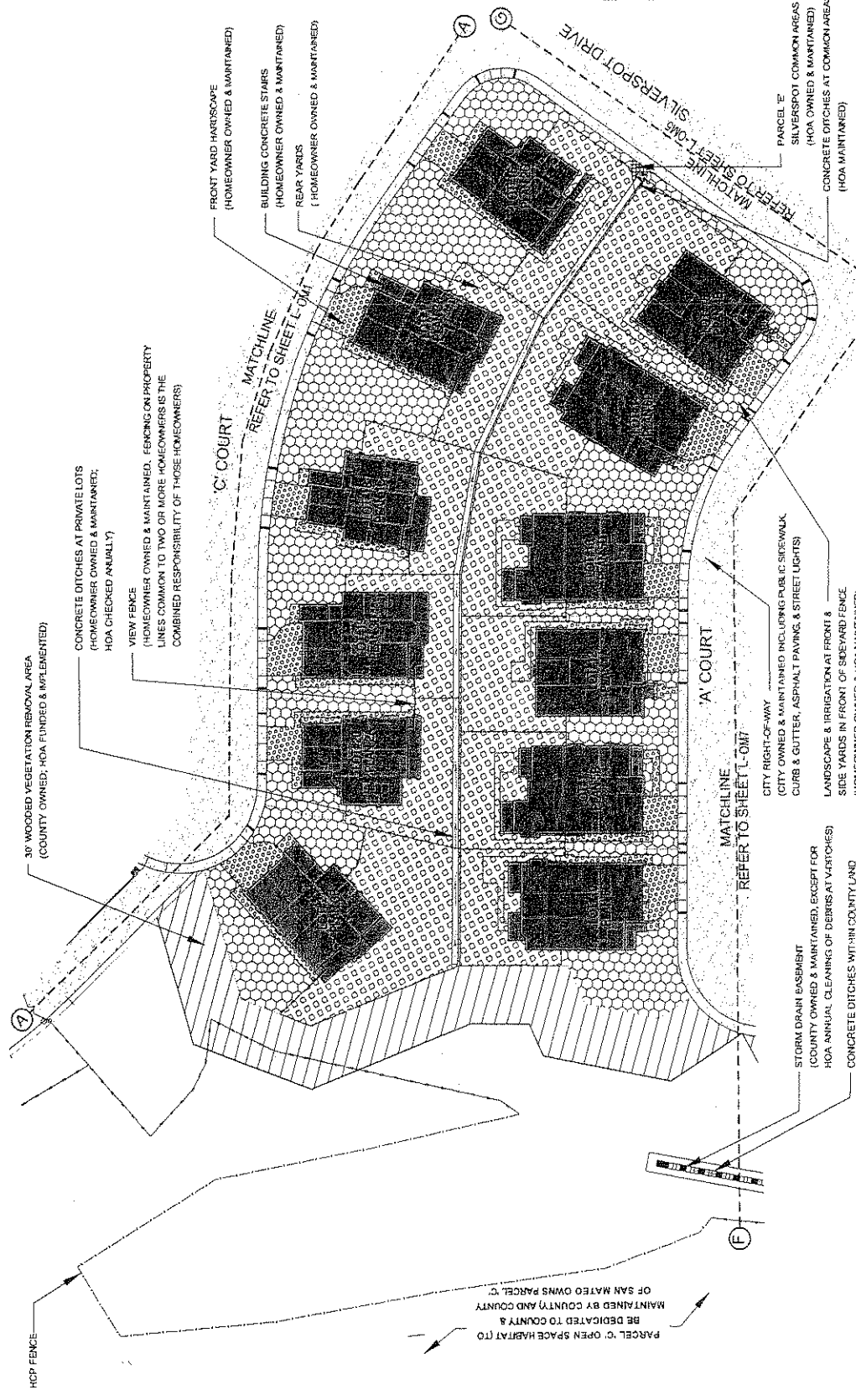
SHEET TITLE:

**OWNERSHIP & MAINTENANCE MAP**

SHEET NO.

**L-OM4**

PROJECT NO. 9098



**MAINTENANCE / OWNERSHIP LEGEND**

- HOMEOWNER OWNED & HOA MAINTAINED LANDSCAPE & IRRIGATION AT FRONT YARDS.
- HOMEOWNER OWNED & MAINTAINED REAR YARD LANDSCAPE AREA.
- HOMEOWNER OWNED & MAINTAINED STRUCTURES (BUILDING, PORCH, STAIRS AND DECKS)
- HOMEOWNER OWNED & MAINTAINED HARDSCAPE (FRONT YARD CONCRETE WALKS, DRIVEWAYS, SIDE STAIRS, RAILINGS AND FENCING)
- COUNTY OWNED & MAINTAINED AND HOA FUNDED WOODED VEGETATION REMOVAL AREA
- H.O.A. OWNED & MAINTAINED RIPARIAN CORRIDOR LANDSCAPE.
- CITY OWNED & MAINTAINED RIGHT-OF-WAY (PUBLIC SIDEWALKS, CURB & GUTTER, ASPHALT PAVING, & STREET LIGHTS)
- HOA OWNED & MAINTAINED SILVERSPOT DRIVE COMMON AREAS
- HOA OWNED & MAINTAINED LUPINE VALLEY COURT COMMON AREAS
- CITY OWNED & HOA MAINTAINED 'A' STREET COMMON AREAS
- COUNTY OWNED & MAINTAINED AND HOA FUNDED STORM DRAIN EASEMENT.

**LANDMARK AT THE RIDGE CCRS**  
NOTE: THE LANDMARK AT THE RIDGE CCRS DEFINE THE MAINTENANCE OBLIGATIONS FOR THE ASSOCIATION AND TAKE PRECEDENCE OVER ANY PORTION OF THE OWNERSHIP & MAINTENANCE MAP THAT IS IN CONFLICT WITH THE CCRS.



30' WOODED VEGETATION REMOVAL AREA  
(COUNTY OWNED, HOA FUNDED & IMPLEMENTED)

CONCRETE DITCHES AT PRIVATE LOTS  
(HOMEOWNER OWNED & MAINTAINED, HOA CHECKED ANNUALLY)

VIEW FENCE  
(HOMEOWNER OWNED & MAINTAINED, FENCING ON PROPERTY LINES COMMON TO TWO OR MORE HOMEOWNERS IS THE COMBINED RESPONSIBILITY OF THOSE HOMEOWNERS)

FRONT YARD HARDSCAPE  
(HOMEOWNER OWNED & MAINTAINED)

BUILDING CONCRETE STAIRS  
(HOMEOWNER OWNED & MAINTAINED)

REAR YARDS  
(HOMEOWNER OWNED & MAINTAINED)

CONCRETE DITCHES AT COMMON AREAS  
(HOA MAINTAINED)

SILVERSPOT COMMON AREAS  
(HOA OWNED & MAINTAINED)

PARCEL 'E'  
(HOA OWNED & MAINTAINED)

CITY RIGHT-OF-WAY  
(CITY OWNED & MAINTAINED INCLUDING PUBLIC SIDEWALK, CURB & GUTTER, ASPHALT PAVING, & STREET LIGHTS)

LANDSCAPE & IRRIGATION AT FRONT & SIDE YARDS IN FRONT OF SIDEYARD FENCE  
(HOMEOWNER OWNED & HOA MAINTAINED)

STORM DRAIN EASEMENT  
(COUNTY OWNED & MAINTAINED, EXCEPT FOR HOA ANNUAL CLEANING OF DEBRIS AT VORTICES)

CONCRETE DITCHES WITHIN COUNTY LAND  
(HOA MAINTAINED)

BE DEDICATED TO COUNTY & MAINTAINED BY COUNTY AND COUNTY OF SAN MATEO OWNS PARCEL 'C'

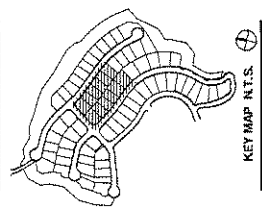
PARCEL 'C' OPEN SPACE HABITAT TO

REFER TO SHEET L-OM1

REFER TO SHEET L-OM2

REFER TO SHEET L-OM3

REFER TO SHEET L-OM4



**LANDSCAPE ARCHITECTS**  
VANDERBILT & ASSOCIATES  
LANDSCAPE ARCHITECTS  
1415 SHERWOOD WAY, SUITE 214  
DANFORTH, CA 94526  
PH: (925) 743-2299  
FAX: (925) 743-0001  
WWW.VANDERBILT.COM

REVISION: \_\_\_\_\_ DATE: \_\_\_\_\_  
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SCALE: 1"=20'-0"

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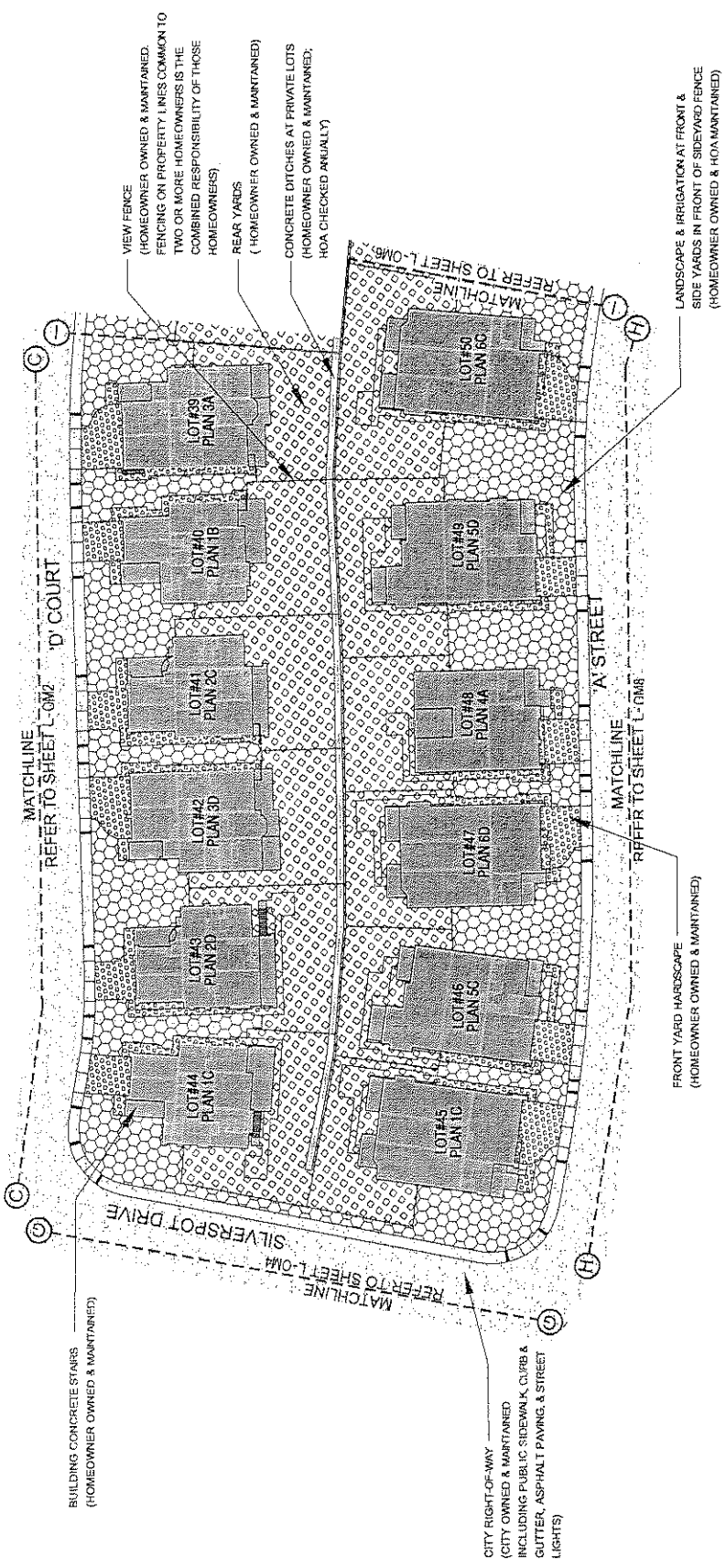
SHEET TITLE:

**OWNERSHIP & MAINTENANCE MAP**

SHEET NO.

**L-0M5**

PROJECT NO. 90909



**MAINTENANCE / OWNERSHIP LEGEND**

- CITY RIGHT-OF-WAY (CITY OWNED & MAINTAINED INCLUDING PUBLIC SIDEWALK, CURB & GUTTER, ASPHALT PAVING, & STREET LIGHTS)
- BUILDING CONCRETE STAIRS (HOMEOWNER OWNED & MAINTAINED)
- FRONT YARD HARDSCAPE (HOMEOWNER OWNED & MAINTAINED)
- HOMEOWNER OWNED & MAINTAINED LANDSCAPE & IRRIGATION AT FRONT YARDS.
- HOMEOWNER OWNED & MAINTAINED REAR YARD LANDSCAPE AREA.
- HOMEOWNER OWNED & MAINTAINED STRUCTURES (BUILDING, PORCH, STAIRS AND DECKS)
- HOMEOWNER OWNED & MAINTAINED HARDSCAPE (FRONT YARD CONCRETE WALKS, DRIVEWAYS, SIDE STAIRS, RAILINGS AND FENCING)
- COUNTY OWNED & MAINTAINED AND HOA FUNDED WOODED VEGETATION REMOVAL AREA

- H.O.A. OWNED & MAINTAINED RIPARIAN CORRIDOR LANDSCAPE.
- CITY OWNED & MAINTAINED RIGHT-OF-WAY (PUBLIC SIDEWALKS, CURB & GUTTER, ASPHALT PAVING, & STREET LIGHTS)
- HOA OWNED & MAINTAINED SILVERSPOT DRIVE COMMON AREAS
- HOA OWNED & MAINTAINED LUPINE VALLEY COURT COMMON AREAS
- CITY OWNED & HOA MAINTAINED 'A' STREET COMMON AREAS
- COUNTY OWNED & MAINTAINED AND HOA FUNDED STORM DRAIN EASEMENT.

**LANDMARK AT THE RIDGE CCRS**  
 NOTE: THE LANDMARK AT THE RIDGE CCRS DEFINE THE MAINTENANCE OBLIGATIONS FOR THE ASSOCIATION AND TAKE PRECEDENCE OVER ANY PORTION OF THE OWNERSHIP & MAINTENANCE MAP THAT IS IN CONFLICT WITH THE CCRS.





**LANDMARK AT THE RIDGE**

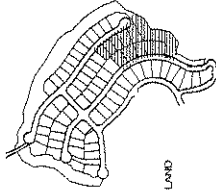
NEIGHBORHOOD II  
UNIT II - 71 LOTS

BRISBANE, CALIFORNIA



**BROOKFIELD HOMES**

5001 LEGNDA WAY, SUITE 100  
DANFORTH, CA 94526  
TEL: (925) 743-8008



KEY MAP N.T.S.



**PROJECT NUMBER: 14-0000000000**

**DATE:** \_\_\_\_\_

**REVISION:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

**SCALE:** 1"=20'-0"

**DRAWN BY:** \_\_\_\_\_

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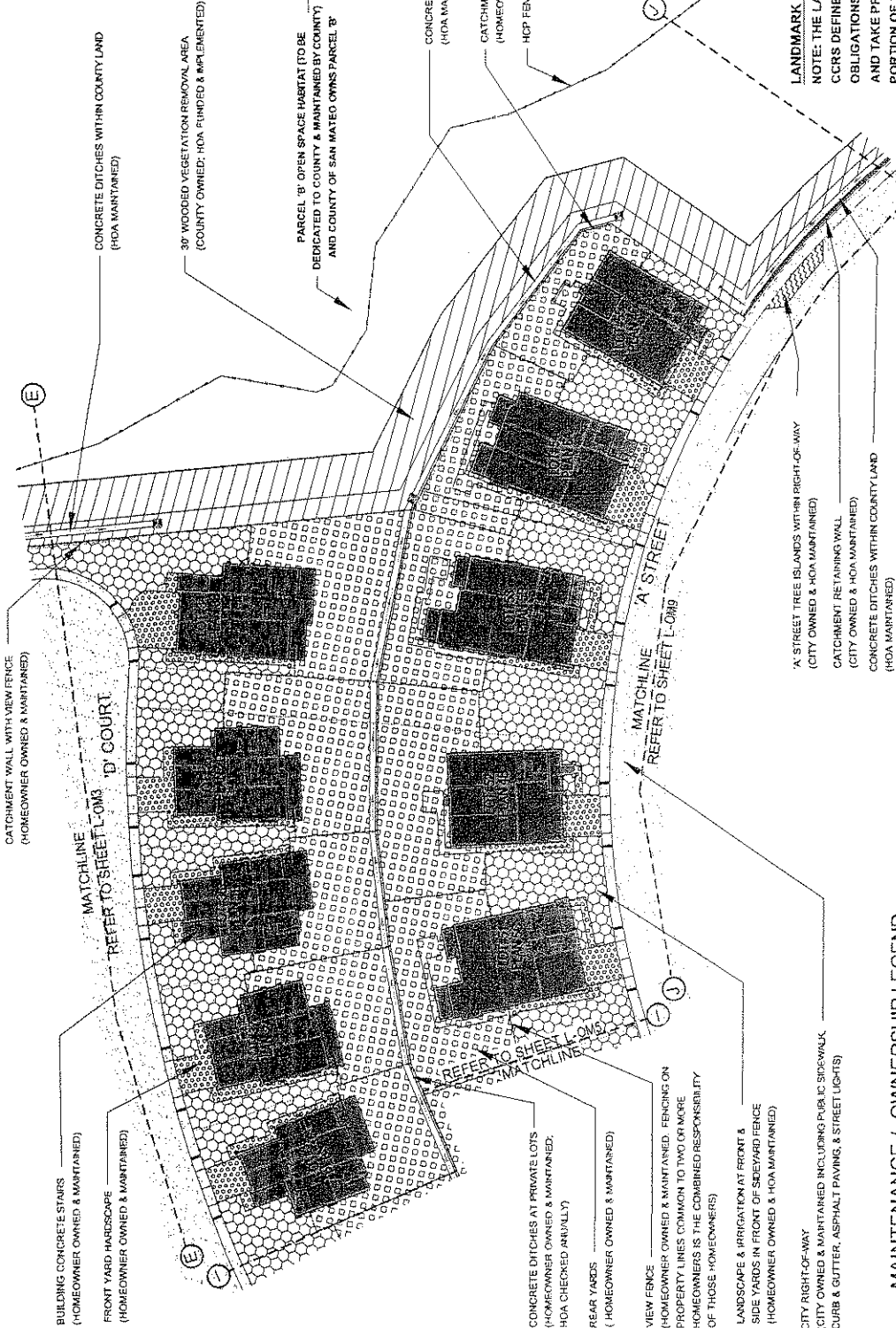
**SHEET TITLE:** \_\_\_\_\_

**OWNERSHIP & MAINTENANCE MAP**

**SHEET NO. L-016**

**PROJECT NO. 9008**

**LANDMARK AT THE RIDGE CCRs**  
NOTE: THE LANDMARK AT THE RIDGE CCRs DEFINE THE MAINTENANCE OBLIGATIONS FOR THE ASSOCIATION AND TAKE PRECEDENCE OVER ANY PORTION OF THE OWNERSHIP & MAINTENANCE MAP THAT IS IN CONFLICT WITH THE CCRs.



**MAINTENANCE / OWNERSHIP LEGEND**

- HOMEOWNER OWNED & HOA MAINTAINED LANDSCAPE & IRRIGATION AT FRONT YARDS.
- HOMEOWNER OWNED & MAINTAINED REAR YARD LANDSCAPE AREA.
- HOMEOWNER OWNED & MAINTAINED STRUCTURES (BUILDING, PORCH, STAIRS AND DECKS)
- HOMEOWNER OWNED & MAINTAINED HARDSCAPE ( FRONT YARD CONCRETE WALKS, DRIVESWAYS, SIDE STAIRS, RAILINGS AND FENCING)
- COUNTY OWNED & MAINTAINED AND HOA FUNDED WOODED VEGETATION REMOVAL AREA
- H.O.A. OWNED & MAINTAINED RIPARIAN CORRIDOR LANDSCAPE.
- CITY OWNED & MAINTAINED RIGHT-OF-WAY (PUBLIC SIDEWALKS, CURB & GUTTER, ASPHALT PAVING, & STREET LIGHTS)
- HOA OWNED & MAINTAINED SILVERSPOT DRIVE COMMON AREAS
- HOA OWNED & MAINTAINED LUPINE VALLEY COURT COMMON AREAS
- CITY OWNED & HOA MAINTAINED 'A' STREET COMMON AREAS
- COUNTY OWNED & MAINTAINED AND HOA FUNDED STORM DRAIN EASEMENT.

**CONCRETE DITCHES WITHIN COUNTY LAND (HOA MAINTAINED)**

**CATCHMENT RETAINING WALL (CITY OWNED & HOA MAINTAINED)**

**'A' STREET TREE ISLANDS WITHIN RIGHT-OF-WAY (CITY OWNED & HOA MAINTAINED)**

**CONCRETE DITCHES WITHIN COUNTY LAND (HOA MAINTAINED)**

**HCP FENCE (HOMEOWNER OWNED & MAINTAINED)**

**CATCHMENT WALL WITH VIEW FENCE (HOMEOWNER OWNED & MAINTAINED)**

**CONCRETE DITCHES WITHIN COUNTY LAND (HOA MAINTAINED)**

**PARCEL 'B' OPEN SPACE HABITAT TO BE DEDICATED TO COUNTY & MAINTAINED BY COUNTY AND COUNTY OF SAN MATEO OWNS PARCEL 'B'**

**30' WOODED VEGETATION REMOVAL AREA (COUNTY OWNED; HOA FUNDED & IMPLEMENTED)**

**CONCRETE DITCHES WITHIN COUNTY LAND (HOA MAINTAINED)**

**CATCHMENT WALL WITH VIEW FENCE (HOMEOWNER OWNED & MAINTAINED)**

**CONCRETE DITCHES WITHIN COUNTY LAND (HOA MAINTAINED)**

**CATCHMENT WALL WITH VIEW FENCE (HOMEOWNER OWNED & MAINTAINED)**

**LANDMARK**  
AT  
**THE RIDGE**

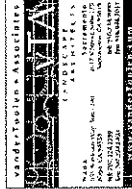
NEIGHBORHOOD II  
UNIT II - 71 LOTS

BRISBANE, CALIFORNIA

**BROOKFIELD**  
HOMES  
500  
BRISBANE, CA 94020  
TEL: (925) 743-8000



KEY MAP N.T.S.

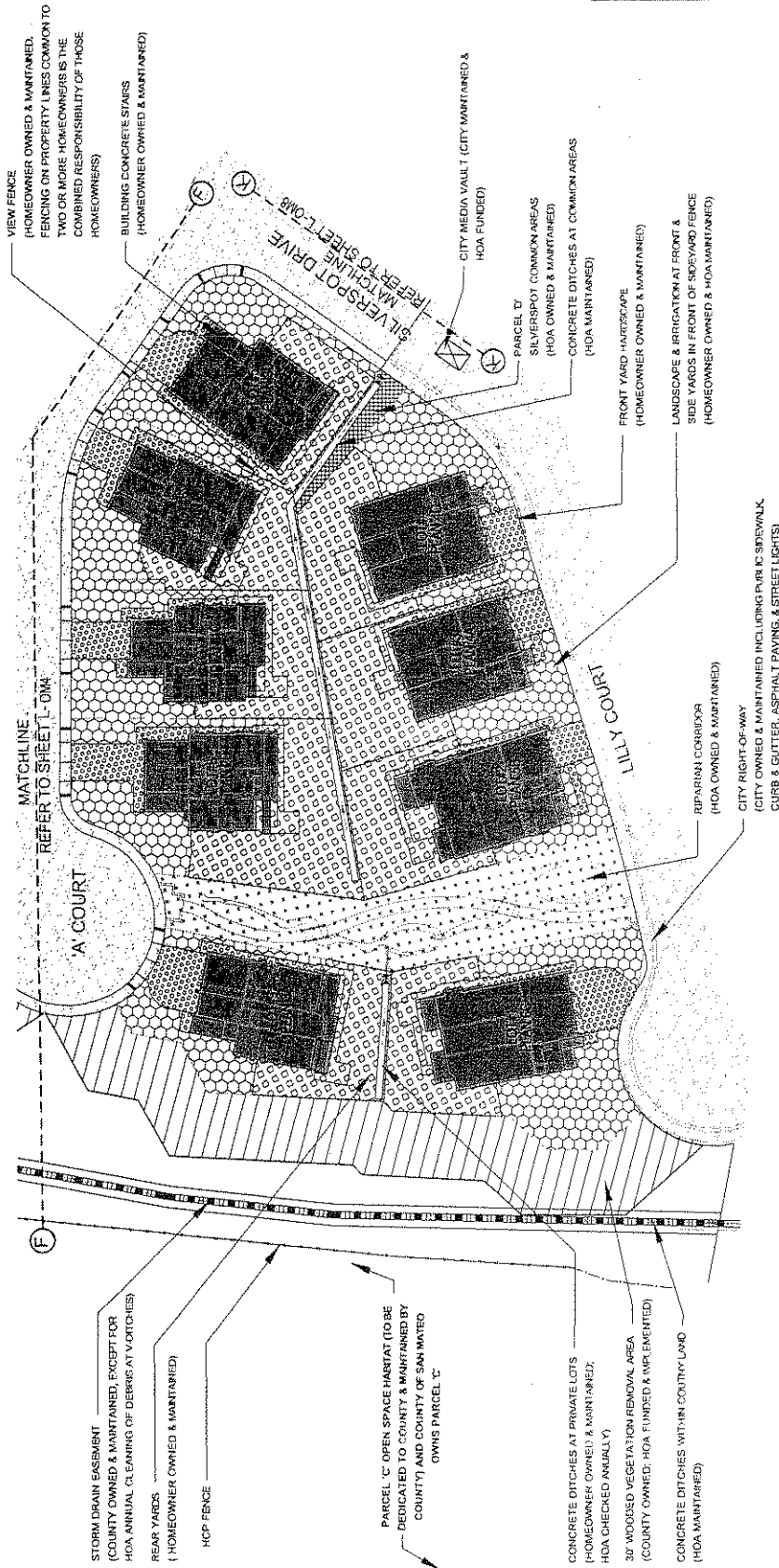


REVISION: DATE:  
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 DATE: SEPTEMBER 25, 2011

SCALE: 1"=20'-0"  
 DRAWN BY: PV  
 CHECKED: PV  
 SHEET TITLE:

**OWNERSHIP & MAINTENANCE MAP**

SHEET NO.  
**L-0M7**  
 PROJECT NO. 903588



**MAINTENANCE / OWNERSHIP LEGEND**

- HOMEOWNER OWNED & MAINTAINED LANDSCAPE & IRRIGATION AT FRONT YARDS.
- HOMEOWNER OWNED & MAINTAINED REAR YARD LANDSCAPE AREA.
- HOMEOWNER OWNED & MAINTAINED STRUCTURES (BUILDING, PORCH, STAIRS AND DECKS).
- HOMEOWNER OWNED & MAINTAINED HARDSCAPE ( FRONT YARD CONCRETE WALKS, DRIVEWAYS, SIDE STAIRS, RAILINGS AND FENCING).
- COUNTY OWNED & MAINTAINED AND HOA FUNDED WOODED VEGETATION REMOVAL AREA.
- H.O.A. OWNED & MAINTAINED RIPARIAN CORRIDOR LANDSCAPE.
- CITY OWNED & MAINTAINED RIGHT-OF-WAY (PUBLIC SIDEWALKS, CURBS & GUTTER, ASPHALT PAVING, & STREET LIGHTS)
- HOA OWNED & MAINTAINED SILVERSPOT DRIVE COMMON AREAS
- HOA OWNED & MAINTAINED LUPINE VALLEY COURT COMMON AREAS
- CITY OWNED & HOA MAINTAINED 'A' STREET COMMON AREAS
- COUNTY OWNED & MAINTAINED AND HOA FUNDED STORM DRAIN EASEMENT.

**LANDMARK AT THE RIDGE CCRS**

NOTE: THE LANDMARK AT THE RIDGE CCRS DEFINE THE MAINTENANCE OBLIGATIONS FOR THE ASSOCIATION AND TAKE PRECEDENCE OVER ANY PORTION OF THE OWNERSHIP & MAINTENANCE MAP THAT IS IN CONFLICT WITH THE CCRS.



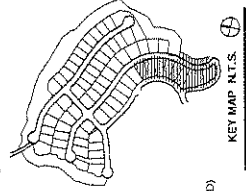


**LANDMARK AT THE RIDGE**

NEIGHBORHOOD II  
UNIT II - 71 LOTS

BRISBANE, CALIFORNIA

**BROOKFIELD HOMES**  
550 LUGNEN WAY, SUITE 100  
DUBLIN, CA 94568  
TEL: (925) 742-8000



KEY MAP N.T.S.



**REVISIONS**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

DATE: SEPTEMBER 28, 2011

SCALE: 1"=20'-0"

DRAWN BY: PV

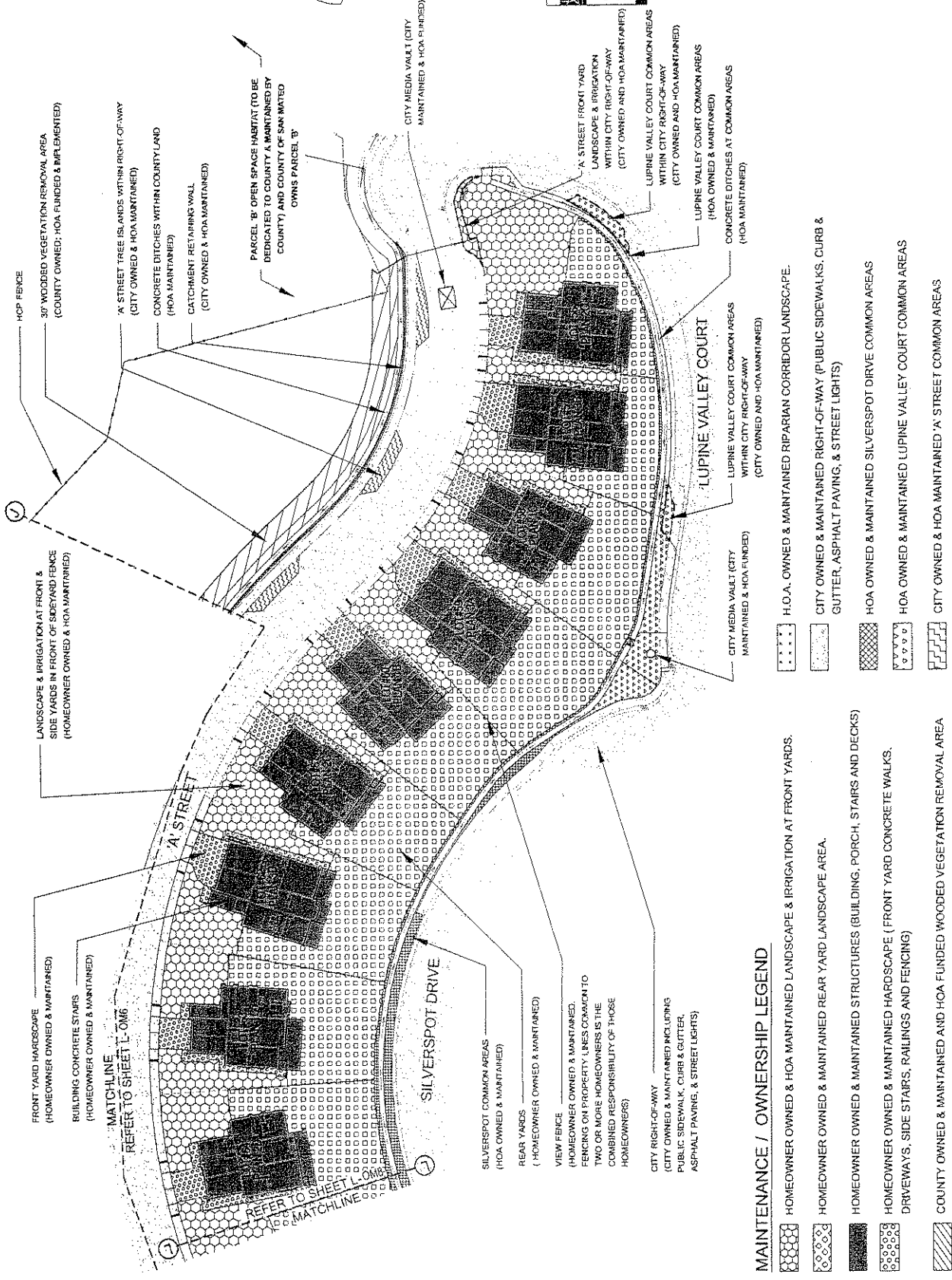
CHECKED: PV

SHEET TITLE: OWNERSHIP & MAINTENANCE MAP

**OWNERSHIP & MAINTENANCE MAP**

SHEET NO. **L-0M9**

PROJECT NO. 90308



**MAINTENANCE / OWNERSHIP LEGEND**

- HOMEOWNER OWNED & HOA MAINTAINED LANDSCAPE & IRRIGATION AT FRONT YARDS.
- HOMEOWNER OWNED & MAINTAINED REAR YARD LANDSCAPE AREA.
- HOMEOWNER OWNED & MAINTAINED STRUCTURES (BUILDING, PORCH, STAIRS AND DECKS).
- HOMEOWNER OWNED & MAINTAINED HARDSCAPE ( FRONT YARD CONCRETE WALKS, DRIVEWAYS, SIDE STAIRS, RAILINGS AND FENCING)
- COUNTY OWNED & MAINTAINED AND HOA FUNDED WOODED VEGETATION REMOVAL AREA
- H.O.A. OWNED & MAINTAINED RIPARIAN CORRIDOR LANDSCAPE.
- CITY OWNED & MAINTAINED RIGHT-OF-WAY (PUBLIC SIDEWALKS, CURB & GUTTER, ASPHALT PAVING, & STREET LIGHTS)
- HOA OWNED & MAINTAINED SILVERSPOT DRIVE COMMON AREAS
- HOA OWNED & MAINTAINED LUPINE VALLEY COURT COMMON AREAS
- CITY OWNED & HOA MAINTAINED 'A' STREET COMMON AREAS

**LANDMARK AT THE RIDGE CCRS**

NOTE: THE LANDMARK AT THE RIDGE CCRS DEFINE THE MAINTENANCE OBLIGATIONS FOR THE ASSOCIATION AND TAKE PRECEDENCE OVER ANY PORTION OF THE OWNERSHIP & MAINTENANCE MAP THAT IS IN CONFLICT WITH THE CCRS.

